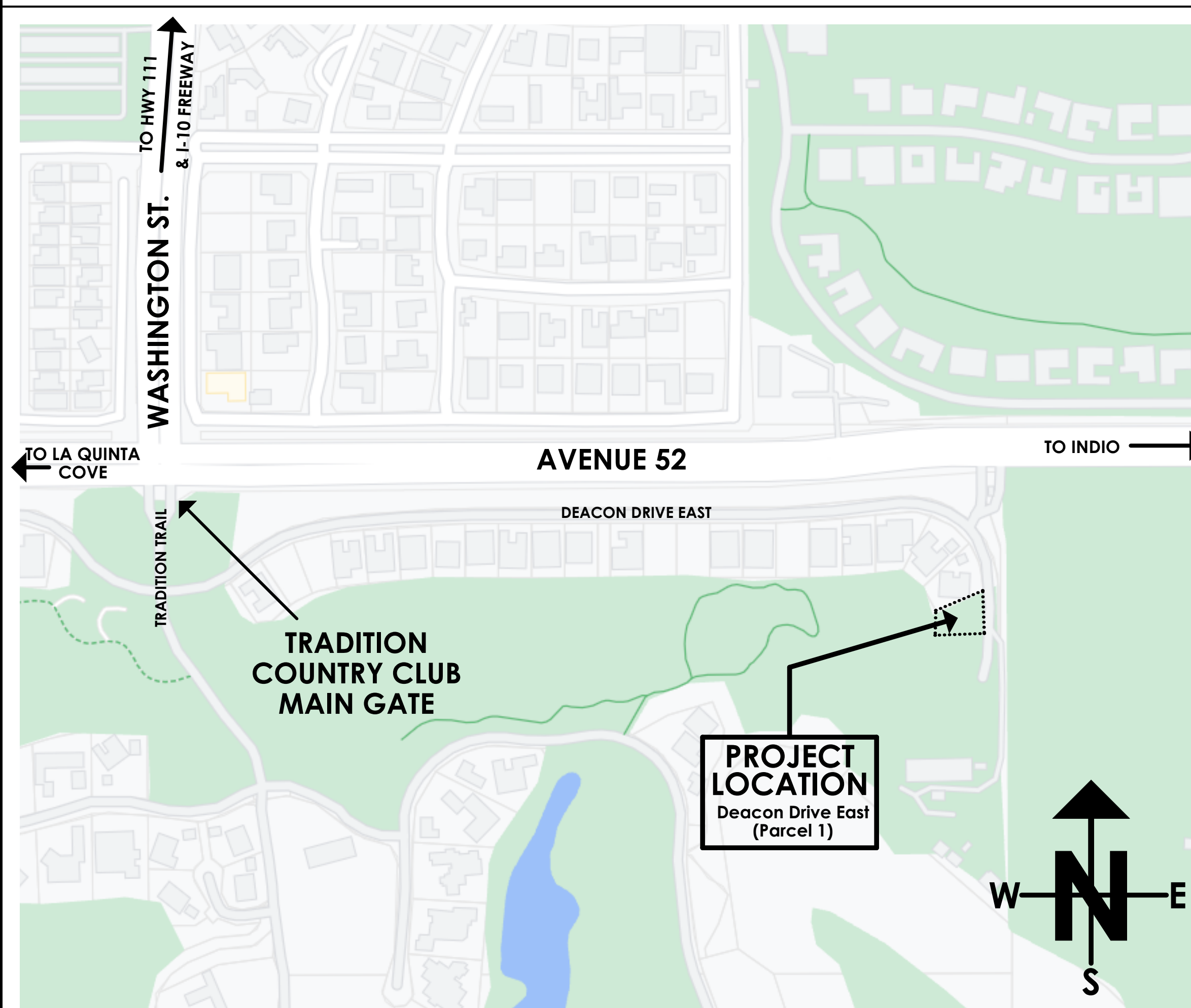


VICINITY MAP



GOVERNING CODES:

Part 2, 2016 California Building Code (CBC), which is based on the 2012 International Building Code (IBC) published by the International Code Council (ICC).
 Part 2.5, 2016 California Residential Code (CRC), which is based on the 2012 International Residential Code (IRC) published by the International Code Council (ICC).
 Part 3, 2016 California Electrical Code (CEC), which is based on the 2014 National Electrical Code (NEC) published by the National Fire Protection Association (NFPA).
 Part 4, 2016 California Mechanical Code (CMC), which is based on the 2015 Uniform Mechanical Code (UMC) published by the International Association of Plumbing and Mechanical Officials (IAPMO).
 Part 5, 2016 California Plumbing Code (CPC), which is based on the 2015 Uniform Plumbing Code (UPC) published by the International Association of Plumbing and Mechanical Officials (IAPMO).
 Part 6, 2016 California Energy Code (CEC), which is written by the California Energy Commission (CEC), and published by the California Building Standards Commission.
 Part 9, 2016 California Fire Code (CFC), which is based on the 2012 International Fire Code (IFC) published by the International Code Council (ICC).
 Part 11, 2016 California Green Building Standards Code (CGBCS), which is based on the 2012 International Building Code (IBC) published by the California Building Standards Commission.

PROJECT SCOPE

Construct a new single story, single family residence dwelling unit with 3,547.2 s.f. of air conditioned living space, 899.1 s.f. unconditioned space and 1,668.5 s.f. of covered patio and trellis area.

COVER SHEET NOTES:

This project requires a Photovoltaic system as specified in the energy calculations - This system requires a separate submittal and permit.
 This project requires a fire suppression sprinkler system. This system requires a separate submittal and permit.
 The pool is to be under a separate submittal and permit.
 All site walls, fences & retaining walls to be under a separate submittal and permit.
 gates & those elements listed above that are part of the pool fence barrier enclosure shall be designed to conform with the pool fence barrier requirements mandated by the California swimming pool safety act and PER CRC SECTION R312.1.3
 Buildings shall have approved address numbers placed in a position that is plainly legible and visible from the street or road fronting the property. Numbers shall contrast with background and shall be Arabic numbers or alphabetical letters and be a minimum of 4" high with a minimum stroke of 1/8", (CRC R319.1)

PROJECT DESIGN TEAM

RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

STRUCTURAL ENGINEER
 I.G. STRUCTURAL ENGINEERING, INC.
 LIC. NO. C3107
 BRIAN GOTTLIEB - CIVIL ENGINEER
 (760) 568-8553 (760) 568-5681 FAX
 EMAIL: b.gottlieb@igse.com
 75-175 MERLE DRIVE, SUITE 200, PALM DESERT, CA 92211

CIVIL ENGINEER
FOMOTOR ENGINEERING
 222 S. GARDEN DRIVE, SUITE 1-10
 PALM SPRINGS, CA 92262
 (760) 322-1842 FAX (760) 322-1742

GENERAL CONTRACTOR

ENERGY & HVAC
Scott
 Design and Title 24, Inc.
 Scott Design and Title 24, Inc.
 74-818 Velie Way STE 8
 Palm Desert CA 92260
 (760) 702-5406
 SD&T24INC.

PLUMBING
ESD
 EGLERT GUTIERREZ DESIGN
 Plumbing Design Specialist
 P.O. BOX 11266
 PALM DESERT, CA 92255
 CELL: (760) 851-7314
 E-MAIL: egutierrez@esdesign.com
 LIC # 001291-04-2020

ELECTRICAL
RAYA
 ARCHITECTURAL LIGHTING & ELECTRICAL DESIGN

PROJECT INFORMATION

OWNER:

Zoning Occupancy group: R-3/U
 Number of stories: Single
 Type of construction: Type V-B, Sprinklered
 Building OCC. Groups: Single Family

Area Calculations

TOTAL LOT AREA = 10,394.8 s.f.
 RESIDENCE COND. FLR. AREA = 3,494.0 s.f.
 GARAGE & CART FLR. AREA = 858.0 s.f.
 TOTAL BUILDING FOOT PRINT = 4,352.0 s.f.

TOTAL LOT COVERAGE = (with covered patio areas included) = 4,352.0 s.f. + 312.1 s.f. = 4,664.1

HOA MAXIMUM COVERAGE ALLOWED = 45% = 4,677.6 s.f.
 ACTUAL COVERAGE = 4,664.1/10,394.8 x 100 = 44.86%

COVERED PATIO AREAS

REAR COVERED PATIO = 222.1 s.f.
 COVER AT ENTRY COURT = 90.0 s.f.

TOTAL COVERED PATIO AREA = 312.1 s.f.

Tradition Pre-Design review submittal

A custom single family residence for: Psarras

La Quinta, CA

Project Title Sheet Renderings (NOTE: these 2 views utilize a wide angle lens - see rendering sheets A3.1 thru A3.3 for "more normal" view angles)



Index of Drawings

SHEET #	SHEET CONTENTS
A1.0	TITLE SHEET: VICINITY MAP, MUNICIPAL CODE, DESIGN TEAM, PROJECT INFORMATION, INDEX OF DRAWINGS
A2.1	PROPOSED MATERIALS BOARD
A3.0	SITE FLOOR PLAN
A3.01	PRELIMINARY GRADING & DRAINAGE PLAN
A3.1	FRONT (EAST) DEACON DRIVE EAST RENDERINGS 1
A3.2	LEFT SIDE (SOUTH) RENDERINGS 2
A3.3	REAR (WEST) RENDERINGS 3
A3.4	RIGHT SIDE (NORTH) RENDERINGS 4
A3.5	BIRDS EYE RENDERINGS 5 (SHOWING NEIGHBORS HOUSE "MASSING" TO THE NORTH)
A4.0	FLOOR PLAN (DIMENSIONED)
A4.5	ROOF PLAN
A5.0	EXTERIOR ELEVATIONS
A5.1	EXTERIOR ELEVATIONS (COLOR)
A5.2	BUILDING ENVELOPE EXHIBITS
A8.0	BUILDING SECTION RENDERINGS

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RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

TITLE SHEET: VICINITY MAP, MUNICIPAL CODE, DESIGN TEAM, PROJECT INFORMATION, INDEX OF DRAWINGS

A custom residence for:

DATE: 5/31/2024
 SCALE:
 JOB #:
 SHEET NO:
A1.0
 OF SHEETS

REQUEST SELECTION BE DEFERRED TO SCHEMATIC OR DESIGN DEVELOPMENT

Westhighland White
Interior / Exterior



MAIN HOUSE BODY 1 (flat)



Taos Taupe 2111-40 "Benjamin Moore"

MAIN HOUSE BODY 2 (flat)

REQUEST SELECTION BE DEFERRED TO SCHEMATIC OR DESIGN DEVELOPMENT

Tuscany
tops: 1UADU6075 / pans: 1UBDU6075 ♻️ 59%



CRRC ID: 0942-0156a / Ref: .22 / Emit: .86 / SRI: 20

CLAY ROOF TILES (CAP & PAN)



BRICKFORM FINE SAND FINISH CONCRETE COLOR

COLORED CONCRETE ENTRY STEPS



ANODIZED ALUMINUM FINISHES

Anodizing is a permanent chemical conversion process. Aluminum extrusions are exposed to a series of electro-chemical baths, which harden the surface and create a protective layer that can be left 'clear' or organically dyed a few select earth tones. While anodizing cannot be as consistent and uniform as paint, it yields a much richer and livelier 'depth' of color and finish.

The custom Light Bronze and Medium Bronze colors (below) inherently exhibit color variation from part-to-part, as well as color-shifting depending upon viewing angle and lighting. Anodized finishes are always at least somewhat transparent and therefore expose underlying aluminum grain and character similar to a stain-finish on wood. As such, an acceptance range is necessary for these two colors (back page).



CLASS I BLACK

EXTERIOR DOOR & WINDOW FRAMES

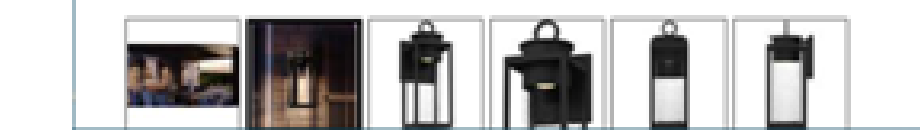
Quoizel Donegal 18 3/4" High Matte Black Outdoor Wall Lantern

\$259.99

FREE SHIPPING & FREE RETURNS* | Low Price Guarantee
Ships in 4 to 6 Weeks

1 ADD TO CART SAVE

or 4 interest-free payments of \$65.00 with sezzle
Check Store Availability | Question? Ask a Store Associate



EXTERIOR LIGHT FIXTURE



PLANTER WALLS (VENEER STONE)



Hexa 60 - Patio Slabs | Techo-BI...
techo-bloc.com

SAND LEVELED PAVERS

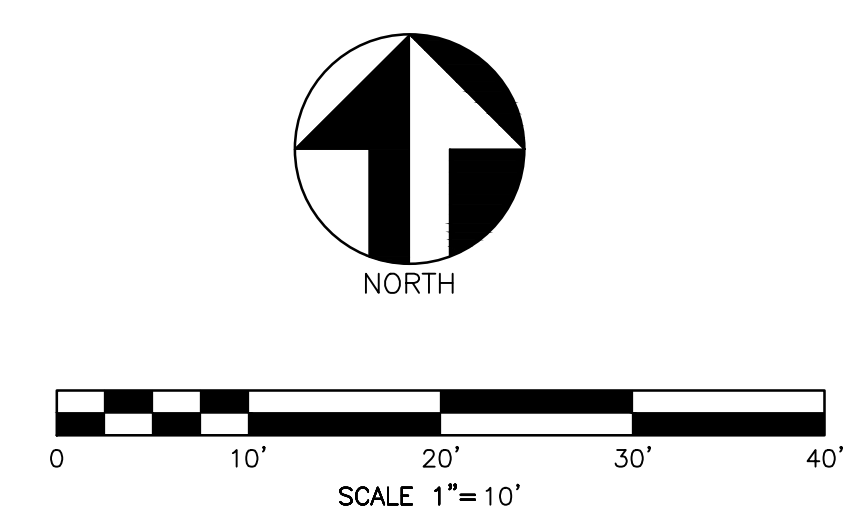
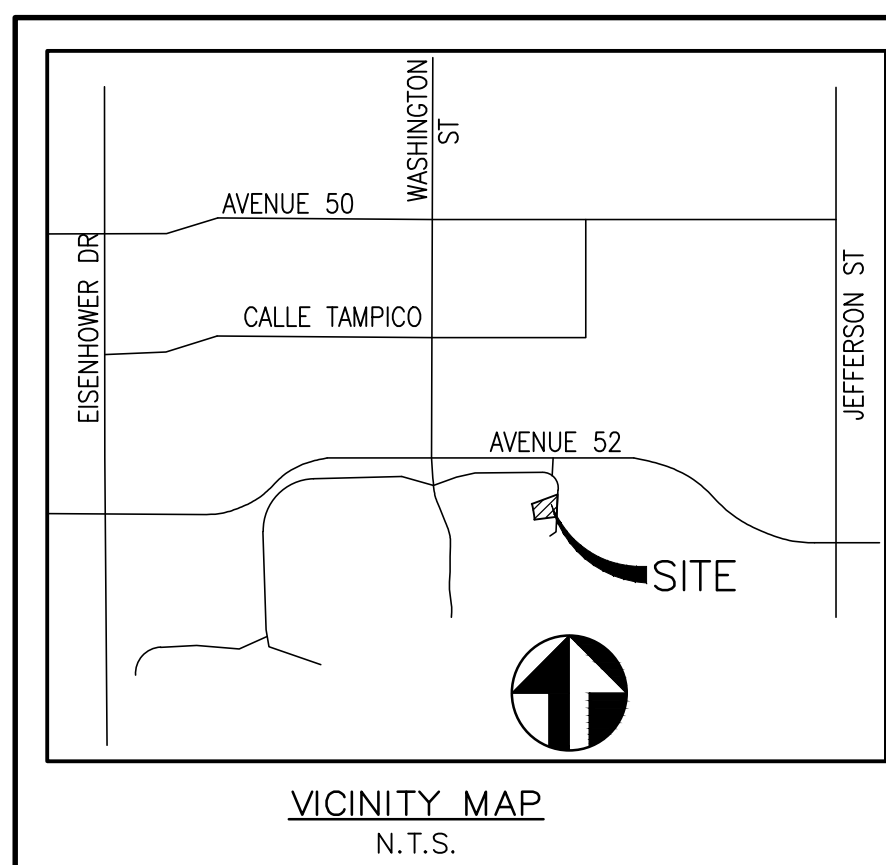
RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

PROPOSED MATERIALS BOARD

A custom residence for:
La Quinta, CA

DRAWN:
CHECKED:
DATE: 5/31/2026
SCALE: 1/4" = 1'-0" (UNO)
JOB #:
REV:
SHEET NO.:

A2.1



NOTE:
PAD ELEVATION SET FROM:
TRACT 28470-1 ROUGH GRADING PLAN
(CITY PLAN NO. 97036)

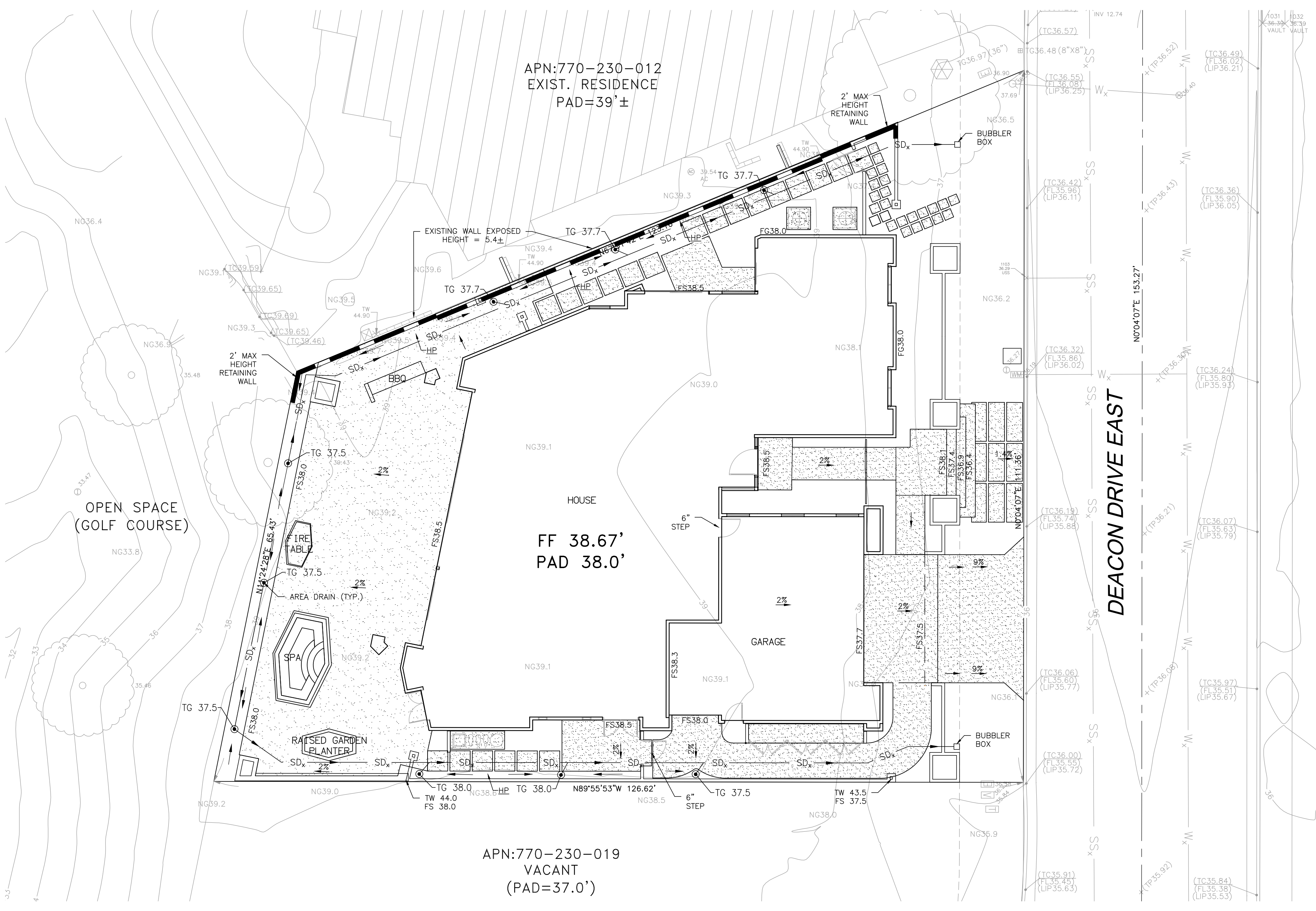
IN THE CITY OF LA QUINTA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PRELIMINARY GRADING PLAN

JUNE 2021

APN:770-230-012
EXIST. RESIDENCE
PAD=39'±

HOUSE
FF 38.67'
PAD 38.0'

APN:770-230-019
VACANT
(PAD=37.0')



LEGEND

- ▨ PROP. CONCRETE
- 10 — PROP. CONTOUR
- - - 10 - - - EXIST. CONTOUR
- Wx — Wx — EXIST. WATER LINE
- Sx — Sx — EXIST. SEWER LINE
- Ux — Ux — EXIST. UNDERGROUND CABLE LINE
- Gx — Gx — EXIST. GAS LINE
- SW — SW — PROP. SWALE
- ⊕ EXIST. SEWER MANHOLE
- ⊕ EXIST. SIGN POST
- EXIST. TREE
- EXIST. BUSH
- EXIST. IRRIGATION CONTROL VALVE
- EXIST. WATER VALVE
- EXIST. ELECTRIC BOX
- EXIST. TELEPHONE BOX
- EXIST. WATER METER
- EXIST. WALLS
- PROP. AREA DRAIN
- PROP. BUBBLER BOX

ABBREVIATIONS

- PROP PROPOSED
- EXIST EXISTING
- FL PROPERTY LINE
- TC TOP OF CURB
- () EXIST. ELEVATION
- FG FINISH GROUND
- FF FINISH FLOOR
- FS FINISH SURFACE
- EG EXISTING GROUND
- HP HIGH POINT
- PUE PUBLIC UTILITY EASEMENT
- GB GRADE BREAK
- RW RIGHT OF WAY
- TW TOP OF WALL
- EW ELEVATION OF EG AT BOTTOM OF WALL
- TF TOP OF FOOTING
- DN DOWN
- DF DEEPEDED FOOTING
- AC AIR CONDITIONING
- BSL BUILDING SETBACK LINE
- TC TOP OF GRATE
- FL FLOW LINE

PRELIMINARY

PREPARATION DATE: 06/22/2021

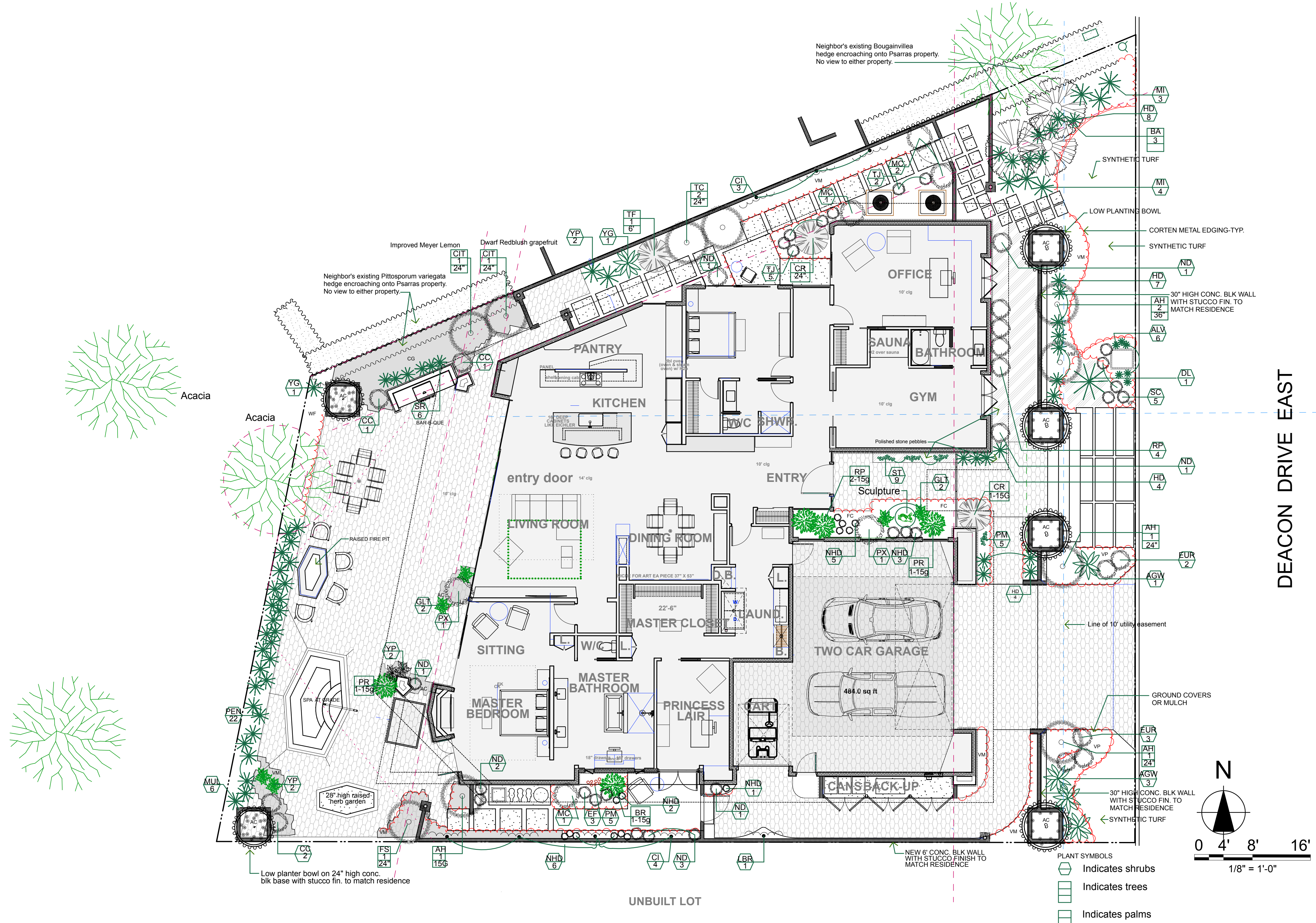


FOMOTOR ENGINEERING
225 S. CIVIC DRIVE, SUITE 1-5
PALM SPRINGS, CA. 92262
(760) 323-1842 FAX (760) 323-1742

CITY OF LA QUINTA, STATE OF CALIFORNIA	SHEET 1
PRELIMINARY GRADING PLAN	OF
LA QUINTA, CA 92253	1 SHEETS
DATE OF SURVEY: FEBRUARY 2021	

PRELIMINARY PLANT LEGEND

plant_code	botanical	common	quantity	size
Trees				
AH	Alyogyne huegelii 'Purple haze'	Blue Hibiscus	2	36"
AH	Alyogyne huegelii 'Purple haze'	Blue Hibiscus	2	24"
AH	Alyogyne huegelii 'Purple haze'	Blue Hibiscus	1	15G
BR	Beaucarnea recurvata	Pony Tail	1	15G
BA	Brahea armata	Mexican Blue Palm	3	4', 6', 8'
CIT	Citrus limon 'Meyer'	Meyer Lemon	1	24"
CR	Citrus sinensis 'Ruby Grapefruit'	Grapefruit	1	24"
CR	Cycas revoluta	Sago Palm	2	24"
FS	Feijoa sellowiana	Pineapple Guava	1	24"
PR	Phoenix robelinii	Pygmy Date palm	2	15G
RH	Rhapis excelsa	Lady Palm	2	15G
TF	Trachycarpus fortunei	Windmill Palm	1	6' ht
Shrubs/Succulents				
AGW	Agave weberi	Smooth-edged Agave	6	18" dia
ALV	Aloe Vera	Medicinal Aloe	6	5G
CC	Convolvulus cneorum	Bush Morning Glory	4	5G
DL	Dasyliiron longissimus	Desert Sotol	1	15G
EUR	Euphorbia rigida	Gopher Plant	5	5G
GLT	Liriope gigantea	Giant Lily Turf	2	5G
HD	Hemerocallis	Hybrid Day Lily	16	5G
MI	Morea imridodes	African Iris	16	5G
MUL	Muhlenbergia rigens	Deer Grass	6	5G
MC	Myrtus communis 'Compacta'	Myrtle	4	15G
ND	Nandina domestica	Heavenly Bamboo	8	15G
NHD	Nandina d. 'Harbor Dwarf'	Dwarf Heavenly Bamboo	12	5G
PEN	Penstemon barbatus 'Elfin Pink'	Penstemon	12	5G
PM	Pachycereus Marginatus	Mexican Fence Post	10	2'-5"
PX	Philodendron 'Xanadu'	Philodendron	1	15G
RPN	Ruellia peninsularis	Desert Ruellia	4	15G
SC	Salvia clevelandii	Salvia	5	5G
SR	Streptocarpus regina	Bird of Paradise	6	15G
ST	Sanseveria trifasciata	Mother-in-law's tongue	9	5G
TJ	Trachelospermum jasminoides	Star Jasmine	2	5G
YG	Yucca Gloriosa	Spanish Dagger	2	24"
YP	Yucca glauca 'pendula'	soap weed	6	15g
Vines				
CI	Calliandra haematocephala	Pink Powder Puff	7	15g
LBR	Rosa Banksii	Lady Banks Rose	1	15g
Ground cover				
AC	Annual color		From quarts	
CG	Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum	5G	
FC	Fragaria chiloensis	Sand Strawberry	From quarts	
VM	Vinca minor	Dwarf Periwinkle	From quarts	



design

PROJECT for: PSARRAS & LA QUINTA, CA 92253 THE TRADITION

SHEET TITLE: PLANTING PLAN

DATE: 5/31/2024
SCALE: AS NOTED
L1

RESIDENTIAL DESIGN BY: JONATHAN PELEZZARE

PRELIMINARY PLANTING / LANDSCAPE PLAN

A custom residence for: La Quinta, CA



RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

FRONT (EAST) DEACON DRIVE EAST RENDERINGS 1

A custom residence for:
La Quinta, CA

DATE:
 5/31/2026
 SCALE:
 1/4" = 1'-0" (UNIFORM)

A3.1



RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

LEFT SIDE (SOUTH) RENDERINGS 2

A custom residence for:
La Quinta, CA

DATE:	
CHECKED:	
DATE:	5/31/2026
SCALE:	1/4" = 1'-0" (UNIFORM)
JOB #:	
DATE:	
A3.2	



RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

REAR (WEST) RENDERINGS 3

A custom residence for:
La Quinta, CA

DRAWN:
CHECKED:
DATE: 5/31/2026
SCALE: 1/4" = 1'-0" (UNO)
JOB #:
SHEET NO.:
A3.3



RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

RIGHT SIDE (NORTH) RENDERINGS 4

A custom residence for:
La Quinta, CA

DRAWN:
CHECKED:
DATE: 5/31/2026
SCALE: 1/4" = 1'-0" (UNO)
JOB #:
REV:
SHEET NO.:

A3.4



REVISED

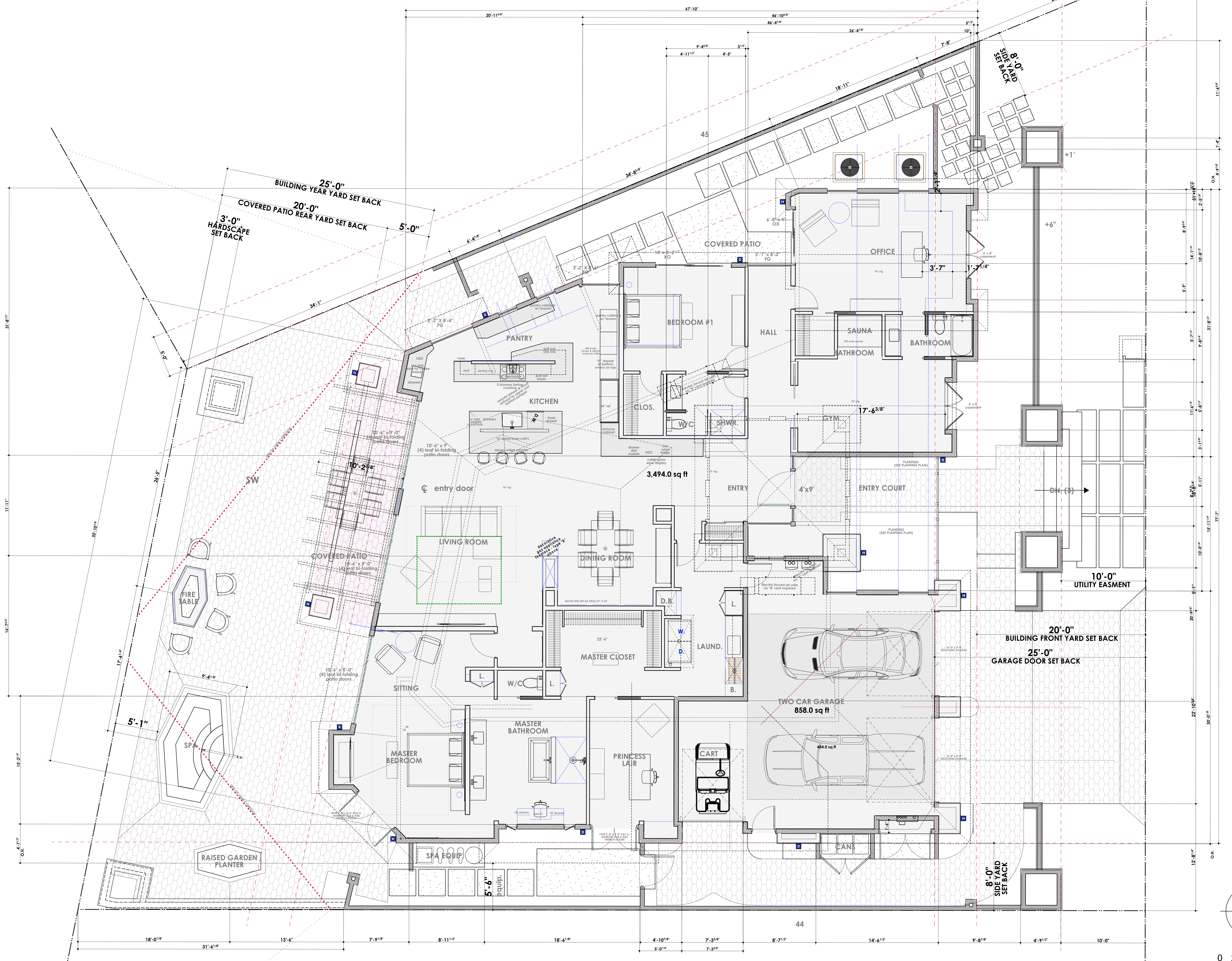
RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

BIRDS EYE RENDERINGS 5 (SHOWING NEIGHBORS HOUSE "MASSING" TO THE NORTH)

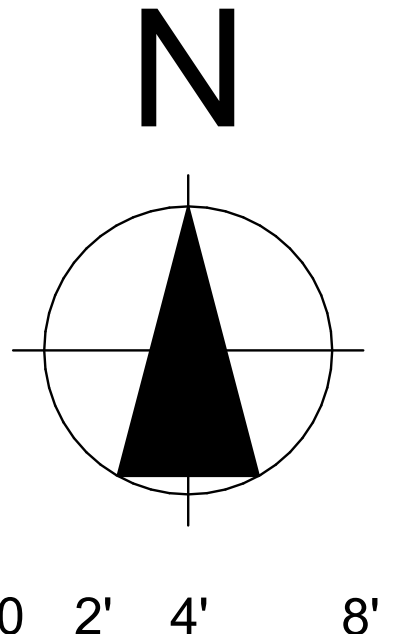
A custom residence for:
La Quinta, CA

DRAWN:
CHECKED:
DATE: **5/31/2024**
SCALE:
1/4" = 1'-0" (UNIFORM)

A3.5



FLOOR PLAN (DIMENSIONED)

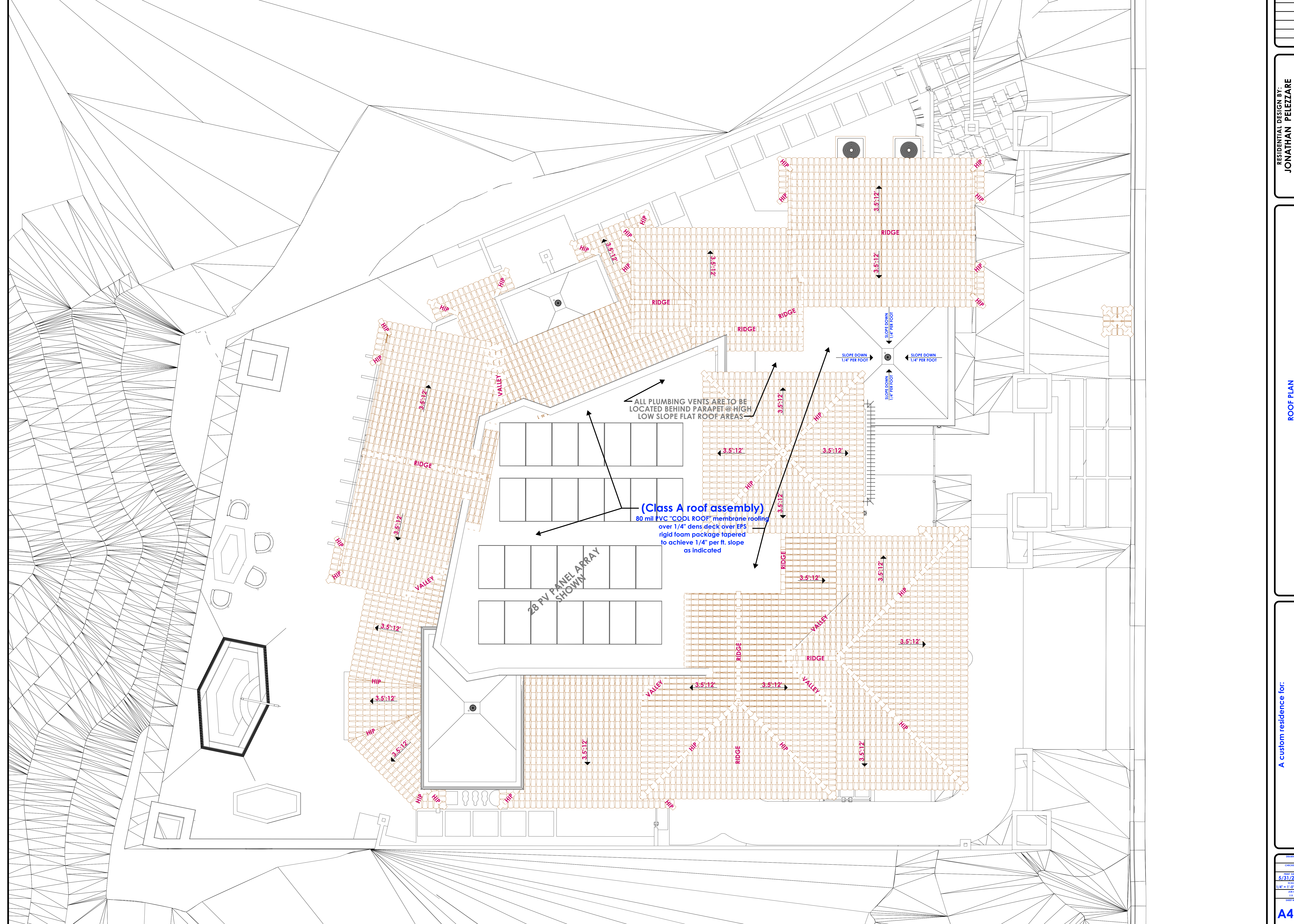


RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

FLOOR PLAN (DIMENSIONED)

A custom residence for:
La Quinta, CA

DATE: 5/31/2024
 CHECKED: [Signature]
 SCALE: 1/4" = 1'-0"
 SHEET NO.: A4.0

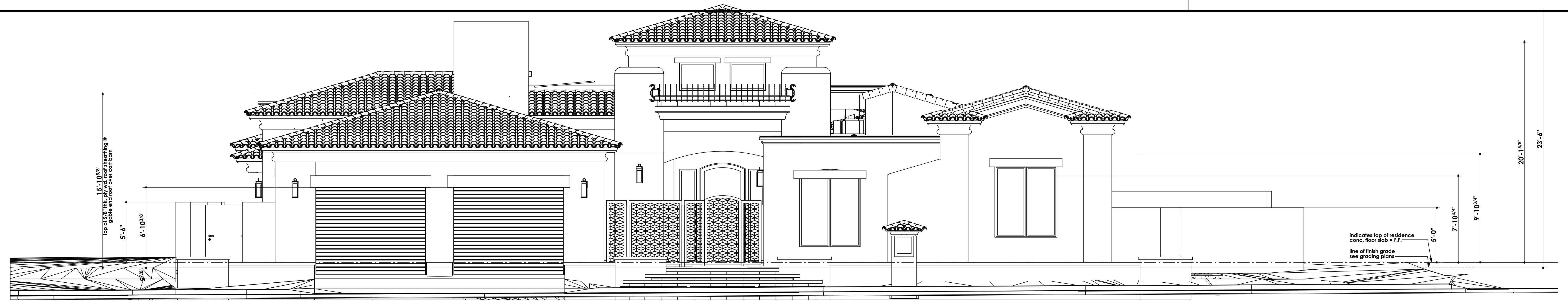


ALL PLUMBING VENTS ARE TO BE LOCATED BEHIND PARAPET @ HIGH LOW SLOPE FLAT ROOF AREAS

(Class A roof assembly)
 80 mil PVC "COOL ROOF" membrane roofing over 1/4" dens deck over EPS rigid foam package tapered to achieve 1/4" per ft. slope as indicated

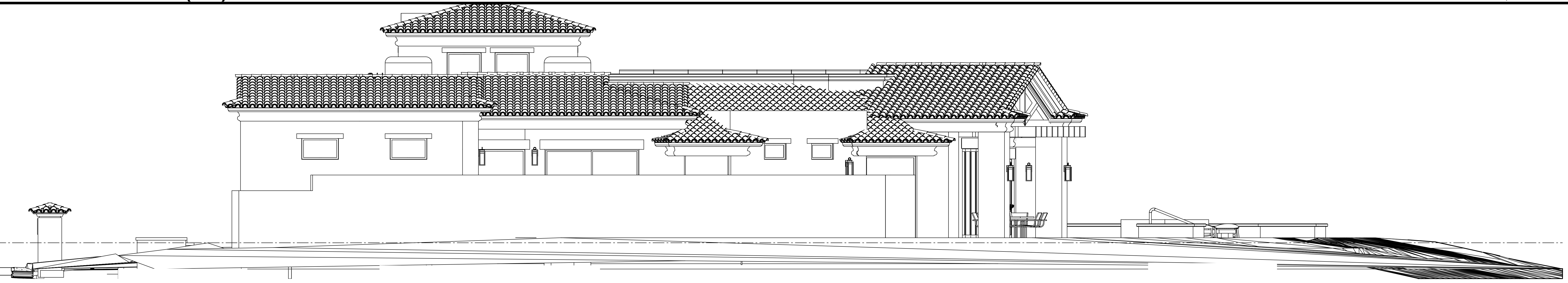
28 PV PANEL ARRAY SHOWN

SLOPE DOWN 1/4" PER FOOT



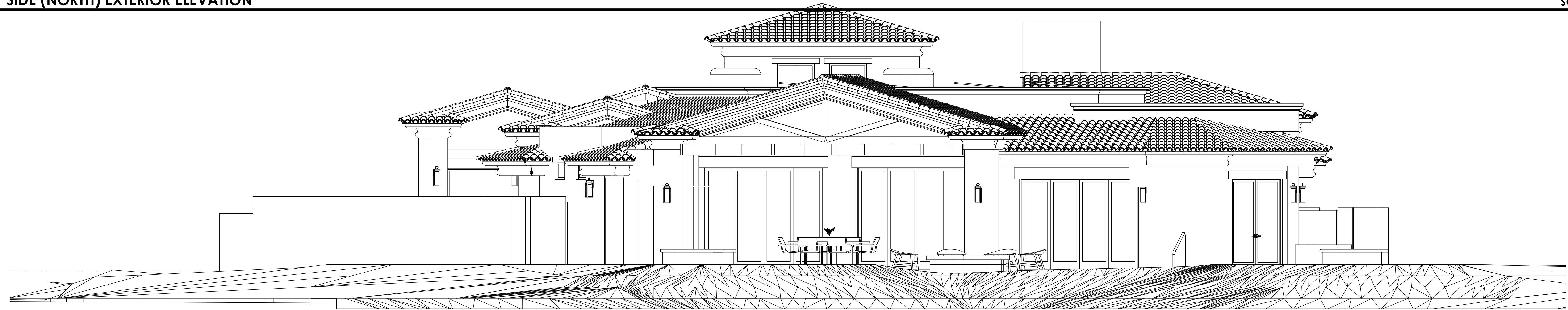
FRONT - DEACON DRIVE EAST (EAST) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



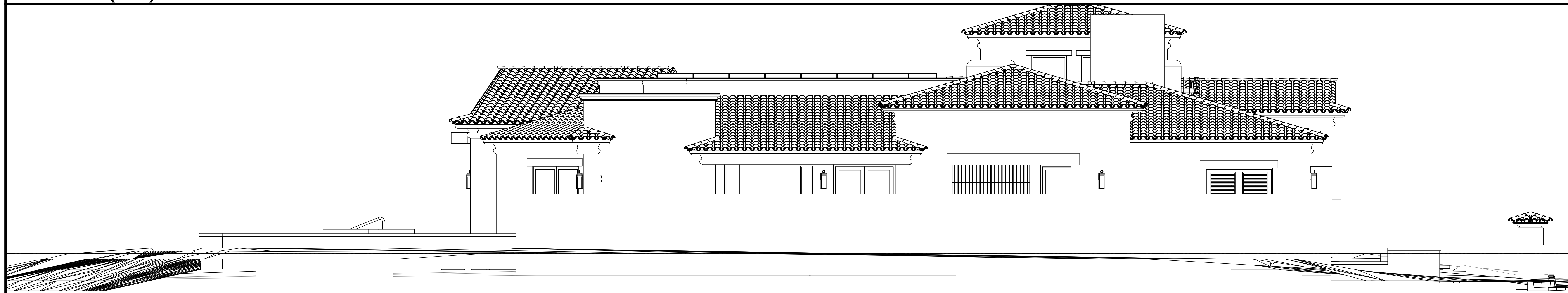
RIGHT SIDE (NORTH) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



REAR (WEST) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE - (WEST) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

EXTERIOR ELEVATIONS

A custom residence for:
La Quinta, CA

DRAWN:
CHECKED:
DATE: 5/31/2024
SCALE: 1/2" = 1'-0"
JOB #
SHEET NO.

A5.0



FRONT - DEACON DRIVE EAST (EAST) EXTERIOR ELEVATION

NO SCALE



RIGHT SIDE (NORTH) EXTERIOR ELEVATION

NO SCALE



REAR (WEST) EXTERIOR ELEVATION

NO SCALE



LEFT SIDE - (WEST) EXTERIOR ELEVATION

NO SCALE

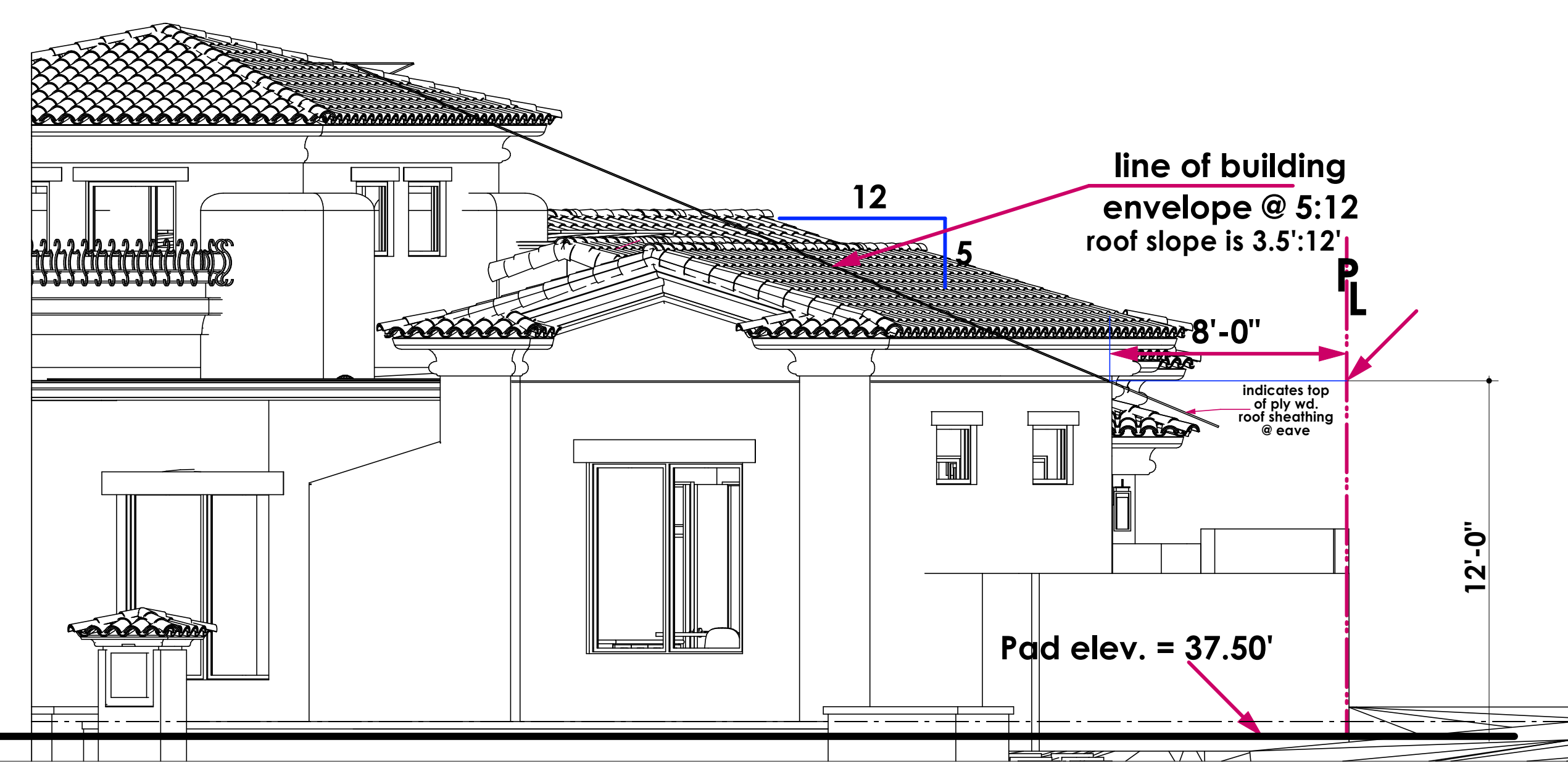
RESIDENTIAL DESIGN BY:
JONATHAN PELEZZARE

EXTERIOR ELEVATIONS (COLOR)

A custom residence for:
La Quinta, CA

DRAWN:
CHECKED:
DATE: 5/31/2026
SCALE:
1/4" = 1'-0" (UNIFORM)
JOB #:
111
SHEET NO.:

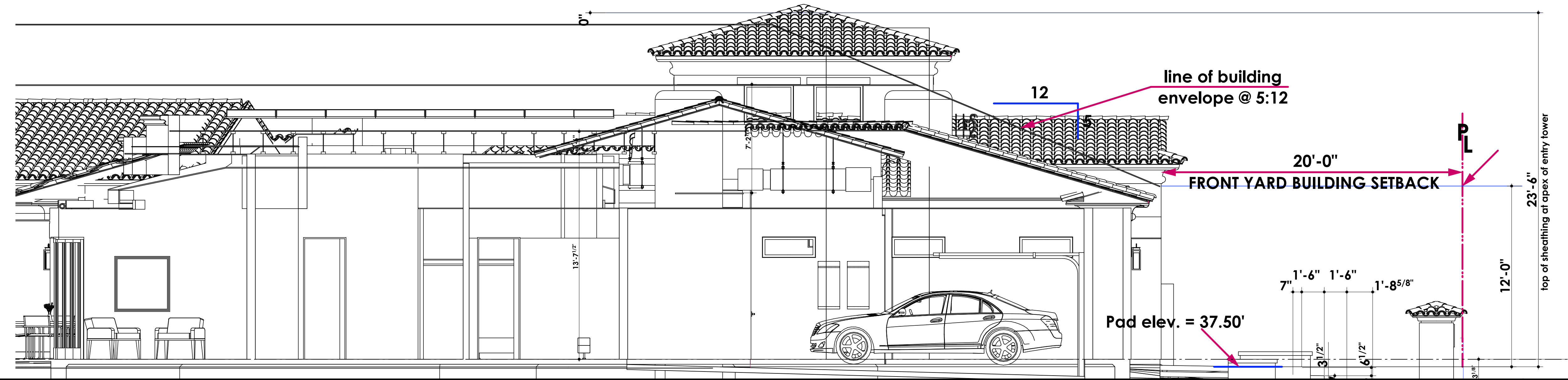
A5.1



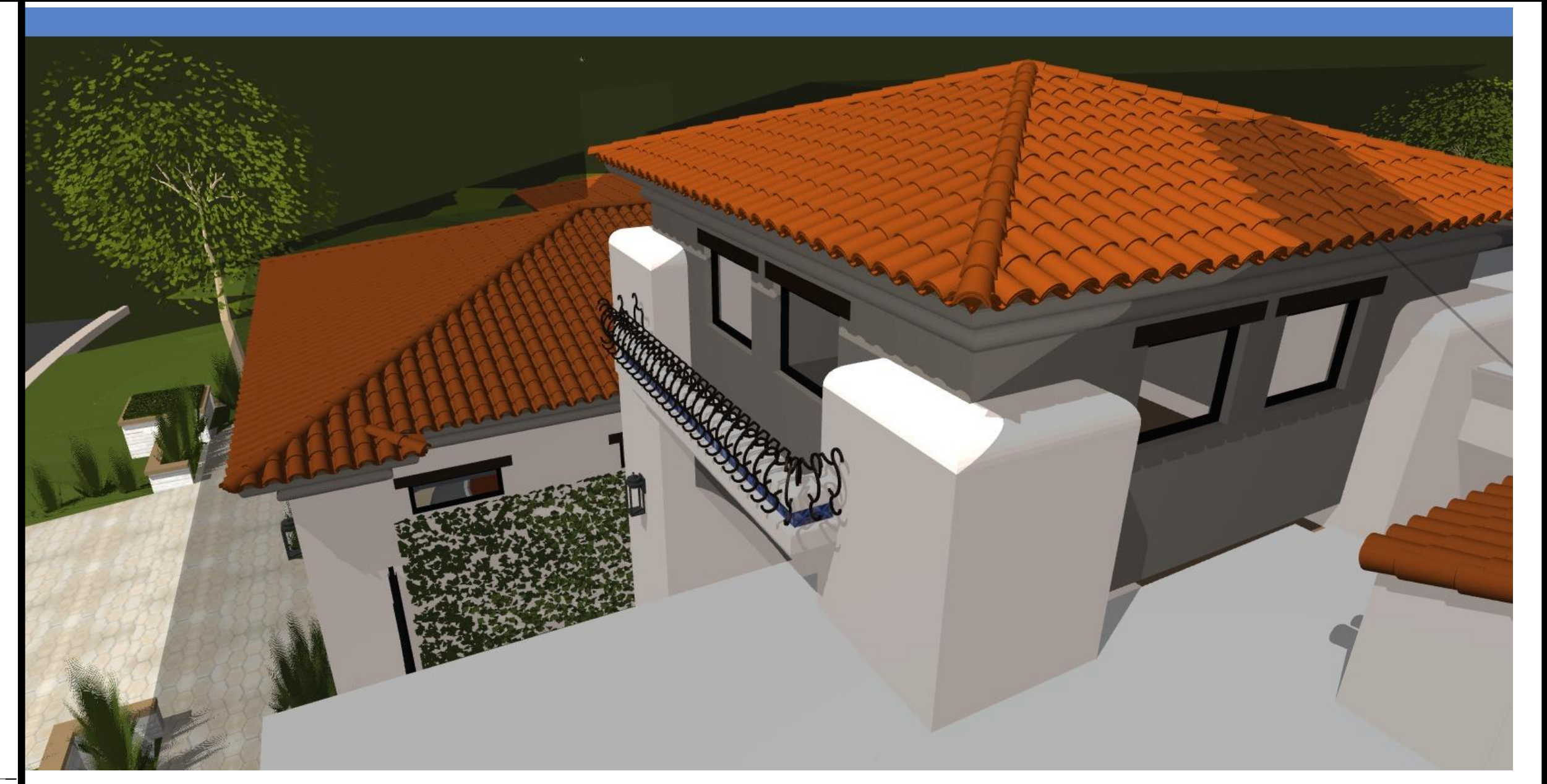
1/A5.2 = NORTH PROPERTY LINE SIDE YARD SETBACK & BUILDING ENVELOPE EXHIBIT (NORMAL TO PROPERTY LINE) SCALE: 1/4" = 1'-0"



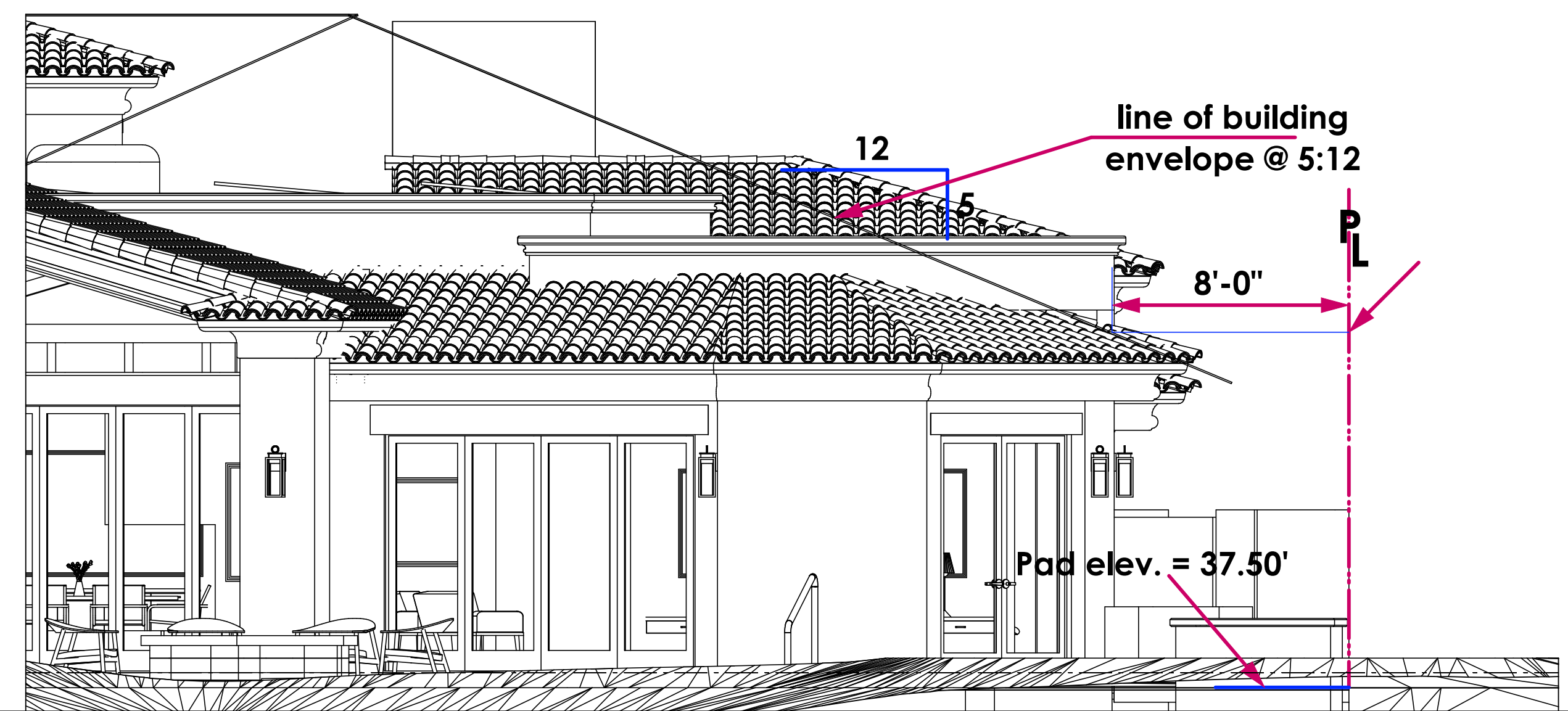
NO SCALE



EAST FRONT YARD SETBACK & BUILDING ENVELOPE EXHIBIT (NORMAL TO PROPERTY LINE) SCALE: 1/4" = 1'-0"



NO SCALE



WEST SIDE YARD SETBACK & BUILDING ENVELOPE EXHIBIT (NORMAL TO PROPERTY LINE) SCALE: 1/4" = 1'-0"



NO SCALE